

GENERAL NOTES:

**BUILDING INFORMATION:**  
Parkway Manor is a 5-story concrete building with brick veneer on the north and east face. The floors and roof are wood construction with a partial concrete basement. Asbestos containing material (ACM) and lead paint have been found in a recent survey. The plan is to abate all ACM prior to demolition.

**DEMOLITION PLAN:**  
All the demolition debris will be loaded into dumpsters. Load-out will be through the adjacent parking lot to the south. The debris flow of the materials will be transported to the covered dumpsters in the parking lot west of the Parkway, load-out area. The Parkway will be demolished with track mounted equipment and loaded into dumpsters. Building debris materials will be sprayed with water to control dust.

- PER-DEMO TASKS:**  
The following items will be completed prior to the hard demolition:
1. All ACM's will be removed prior to demolition.
  2. Cut and cap all utilities. See  on DS.0.1. Sanitation and storm water caps must be done by a licensed plumber, with a separate permit. Caps for abandon laterals will be done with a watertight cap, installed at the face of the public lateral and in the face of the remaining abandon privately maintained lateral. Follow ENB 4.17/12i, for pipe larger than 6" follow SCS 00490
  3. A construction work area will be established on site to control access to the work area. See Site plan DS0.1.
  4. Set-up drop box load-out area.
  5. Set-up street, sidewalk closure, barriers, and Storm Water Pollution Prevention Plan (SWPPP).
  6. The tree protection plan is shown on Sheet TP1.

**HARD DEMOLITION:**  
The building will be demolished with track mounted equipment. The equipment shall follow the general sequence shown on DS2.0.

**STOP-WORK PROCEDURE:**  
If unexpected circumstances develop, including the discovery of unknown hazards or hazardous materials, during the demolition activities, the work will be stopped. GDSI will evaluate the issue. Work in concern will not be resumed until the issue is resolved. No change in the plan is to be implemented unless GDSI and DCI Engineers agree. All proposed changes will be documented with the standard RFI process and routed to all parties involved. DCI will issue a response to the RFI with the appropriate revisions.

**PROCESS & PREPARATION:**  
This demolition plan was developed after DCI, the Registered Professional Engineer (RPE), studied the buildings and site conditions. The demolition will proceed and follow the guidelines below:

1. The demolition contractor shall review this demolition plan and drawings.
2. All debris with ACM will be identified and removed prior to executing these drawings.
3. All ACM will be disposed of per applicable regulations outlined in the State of Oregon Department of Environmental Quality (DEQ). DEQ provides the regulations for asbestos waste including the requirements associated with transporting and disposing asbestos and asbestos handling.
4. The demolition contractor shall review the reports outlining the location of hazardous materials. Once the hazardous materials are abated, the demolition will be performed as typical demolition.
5. All workers and operators will wear the required personal protective equipment (PPE).
6. The work area will be established around the perimeter of the site to control access. The work, including waste processing, will be completed inside the work area. The work area will be delineated with construction fencing (See the Site Plan, DS0.1).
7. The ambient air will be periodically monitored at the site.
8. Water misters will be used for dust suppression.

**BACKFILL BASEMENT:**  
The following items will be completed for the basement backfill operations:

1. The ground surface shall be inspected and approved by the special inspector and BDS prior to any fill placement. The ground surface shall be prepared to receive the fill by removing unsuitable material or soils. All floor slabs shall be removed per City of Portland Title 24.55. Footings and foundation walls 12" below the final grade will remain.
2. The backfill material shall be approved by the special inspector prior to fill placement.
3. Particle sizes greater than six inches may not be placed within ten feet of the final grade.
4. Backfill to be placed in lifts no greater than nine inches maximum loose thickness, and within the effective compaction limits of the equipment being used.
5. Backfill to be compacted to at least 90 percent of the maximum dry density, determined in accordance with ASTM D1557.
6. The special inspector shall test the compaction of the fill as the fill is being placed every two feet of elevation or every 250 cubic yards, whichever provides the greatest number of tests, to demonstrate uniform compaction throughout the fill volume.
7. The special inspector shall observe the work for conformance with approved permit documents and these backfill requirements. The special inspector shall submit a final summary report to BDS's Special Inspections section stating whether the backfill work was completed in conformance with the approved permit documents and these requirements.

**LANDSCAPING:**  
After the demolition the site must be landscaped per City of Portland, Chapter 33.248 Title 33, Planning and Zoning Landscaping and Screening standards L1.

- L1 General Landscaping Standards:
1. Intent: The L1 standard is a landscape treatment for open areas. It is intended to be applied in situations where distance is used as the principal means of separating uses or development, and landscaping is required to enhance the area in-between. While primarily consisting of ground cover plants, it may include a mixture of trees, high shrubs, and low shrubs.
  2. Required materials: Trees and shrubs are not required for this site.

**DEWATERING: CONSTRUCTION DEWATERING NOT AUTHORIZED.**

**IF DEWATERING IS REQUIRED:**  
Batch Discharge Authorization permit is required for temporary discharges of groundwater or construction related stormwater (channelized, collected and/or pumped) to the City's public sanitary or storm sewer system. If de-watering to a City sanitary or storm sewer system is necessary, pre-authorization must be obtained from the Bureau of Environmental Services at batchdischarge@portlandoregon.gov (or call 503-823-7026).



APPEALS:

APPEAL DECISION

Demolition with partial foundation to remain: Granted provided a copy of this appeal is recorded on the deed.  
Note: A revision to the permit may be required. Engineering calculations for the temporary shoring may be required. It is recommended the design team contact Site Development to discuss the submittal requirements.

Appellant may contact Jason Butler-Brown (503-823-4936) with questions.

The Administrative Appeal Board finds with the conditions noted, that the information submitted by the appellant demonstrates that the approved modifications or alternate methods are consistent with the intent of the code: do not lessen health, safety, accessibility, life, fire safety or structural requirements; and that special conditions unique to this project make strict application of those code sections impractical.

|                                                      |                                                  |
|------------------------------------------------------|--------------------------------------------------|
| Status:                                              | Project Address: 1609 SW Park Ave                |
| Appeal ID: 31997                                     | Appellant Name: Kyle Kraxberger                  |
| Hearing Date:                                        | Appellant Phone: 503 242 2448                    |
| Case No.:                                            | Plans Examiner/Inspector: Christine Caruso       |
| Appeal Type: Building                                | Stories: 0 Occupancy: N/A Construction Type: N/A |
| Project Type: commercial                             | Fire Sprinklers: No                              |
| Building/Business Name: GDSI                         | LUR or Permit Application No.:                   |
| Appeal involves: Alteration of an existing structure | Proposed use: Demolition                         |
| Plan Submitted Option: pdf [File 1]                  |                                                  |

APPEAL INFORMATION SHEET

Appeal item 1

|                                          |                                                                                                                                                                                                                                                                                                                                                                   |
|------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| Code Section                             | Title 24.55                                                                                                                                                                                                                                                                                                                                                       |
| Requires                                 | The Title states after removal of any structure all foundations that are not to be used for new construction shall be removed.                                                                                                                                                                                                                                    |
| Code Modification or Alternate Requested | We propose to cut the existing retaining walls down 12" below grade and filling the site in accordance with chapter 24.70.                                                                                                                                                                                                                                        |
| Proposed Design                          | There is currently an issued permit with a systematic method to remove all elements. With that said there is inherent risk especially to some well established trees and their root system. We plan on re-submitting the attached plans to be reviewed pending the decision of this appeal.                                                                       |
| Reason for alternative                   | We want to minimize or prevent opening up unforeseen problems along that section/street frontage. In addition we want to remove the risk of damaging the street trees. We believe we are still following the intent of the title by providing a flat landscaped lot.<br><br>A similar appeal was filed Appeal ID 31572 which granted keeping the retaining walls. |

The administrative staff has not yet reviewed this appeal.

APPEAL DECISION

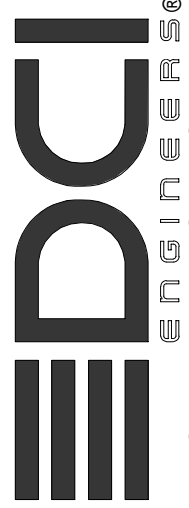
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23-061540 REV 01 CO

SUBMITTED: DEC. 7, 2023



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CNIL / STRUCTURAL  
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DRAWING TITLE:  
SITE PLAN



STRUCTURAL  
REGISTERED PROFESSIONAL ENGINEER  
14868PE  
J. Chaffin  
OREGON  
MARCH 28, 2011  
SURLY CHALUPA  
EXPIRES: 12-31-23

Parkway Manor Demolition  
1609 SW PARK AVE  
PORTLAND OR 97201

REVISIONS

1

7/25/27 PC

2

8/10/23 PC

3

12/5/23 APPEAL

City of Portland  
Reviewed for  
Code Compliance  
SHEET NUMBER

Date: 01/25/24  
Permit #: 23-061540-REV-01-CO

DS0.0



**BUILDING REMOVAL SEQUENCE:**

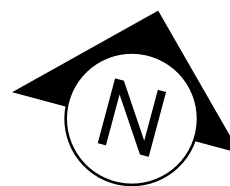
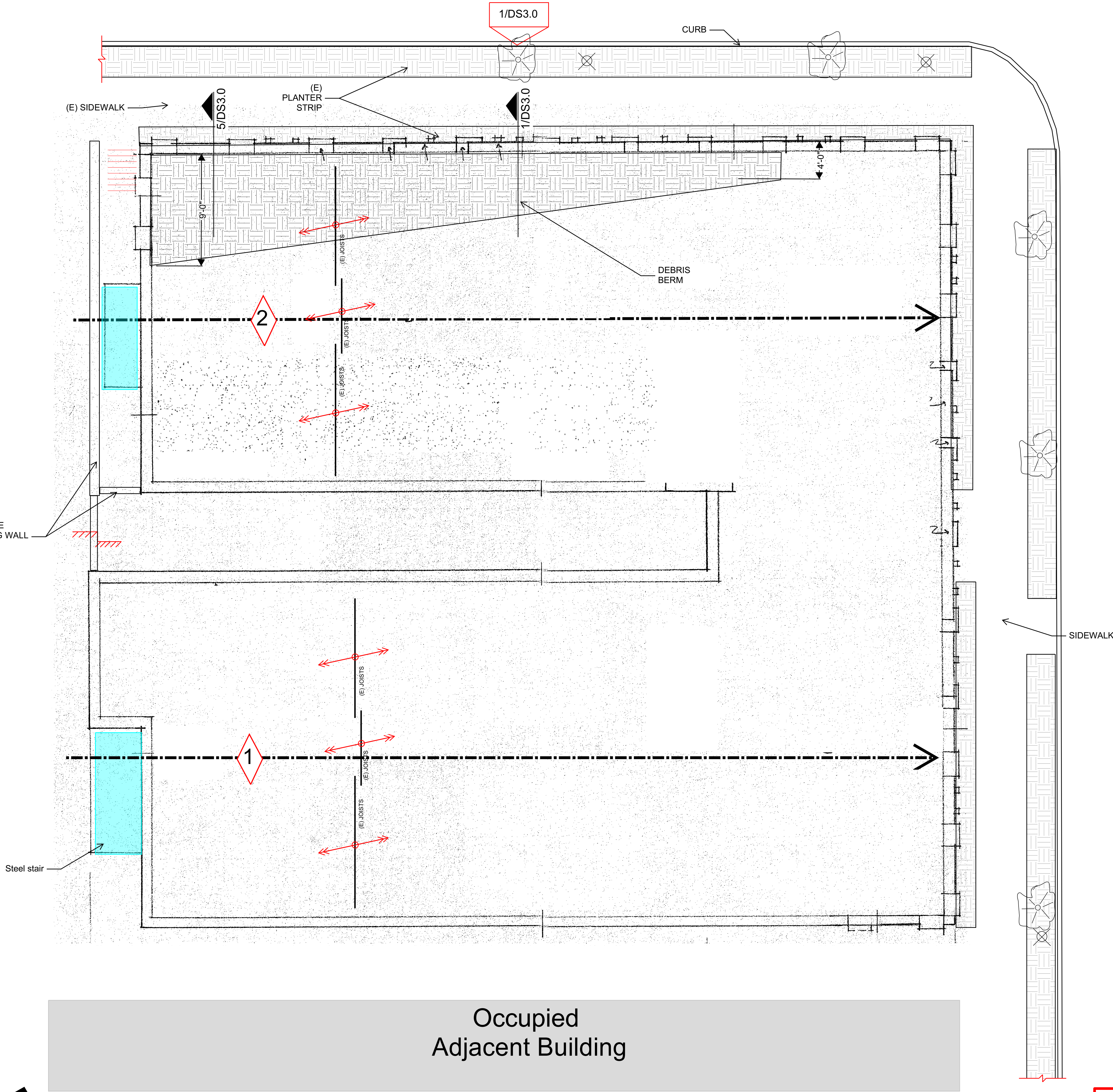
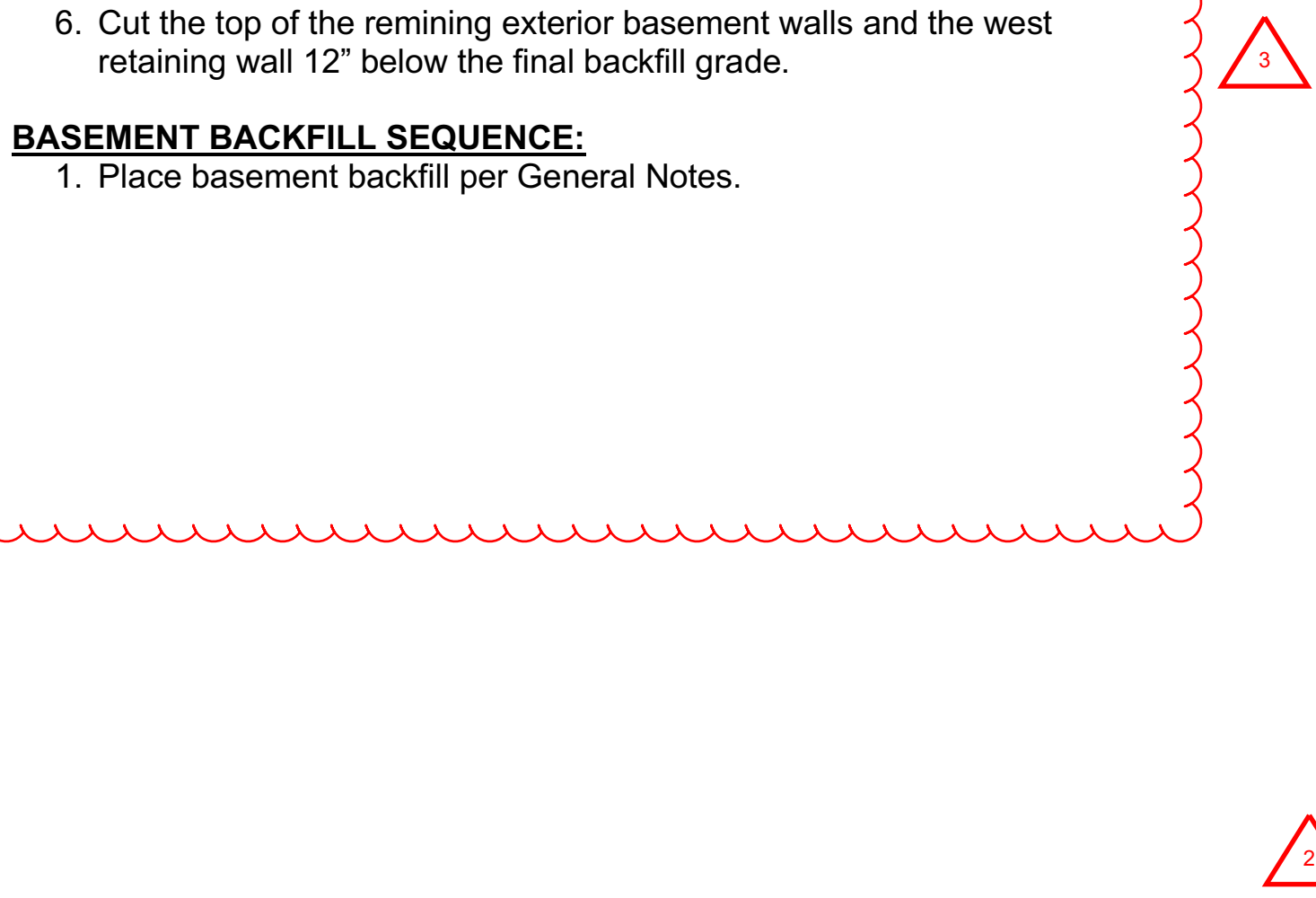
1. Mechanically process the building from the top down. Starting at the roof, approach the two wings from the west, demolish the wood interior framing first and munch the exterior walls pushing the debris to the interior floors below.
2. To improve operator visibility, the demolition can be stepped at the floor level as shown on 2/DS3.0. The steps should be a minimum of 10 feet horizontal for each floor. The concrete perimeter walls at the steps should be battered on a 1:1 slope.
3. Start with the south wing, moving toward the east. Pull the exterior north and south walls of the south wing to the interior of the building.
4. Pull the exterior east wall to the west onto the floors below.
5. The path of demolition of the wings is marked with 1.
6. All slabs shall be removed.
7. All below grade walls shall be processed to below 12" below grade. All foundation and other below grade elements shall remain in place.
8. Site shall be inspected and in-filled with suitable fill material per General Notes.

**BASEMENT WALL REMOVAL SEQUENCE:**

1. Remove 1st floor framing.
2. Position demo equipment in basement.
3. Remove basement slab.
4. Cut the top of the north exterior basement walls 12" below the final backfill grade.
5. Immediately build the debris berm against the remining north basement wall.
6. Cut the top of the remining exterior basement walls and the west retaining wall 12" below the final backfill grade.

**BASEMENT BACKFILL SEQUENCE:**

1. Place basement backfill per General Notes.



SEQUENCE PLAN

PERMIT NUMBER: 23-061540



DRAWING TITLE:  
DEMOLITION  
SEQUENCING



**Parkway Manor Demolition**  
1609 SW PARK AVE  
PORTLAND OR 97201

| REVISIONS |                |
|-----------|----------------|
| 1         | 7/25/23 PC     |
| 2         | 8/3/23 PC      |
| 3         | 12/5/23 APPEAL |

SUBMITTED: DEC. 7, 2023

City of Portland  
Reviewed for  
Code Compliance  
Date: 01/25/24  
Permit #: 23-061540-R2-V-6-REC

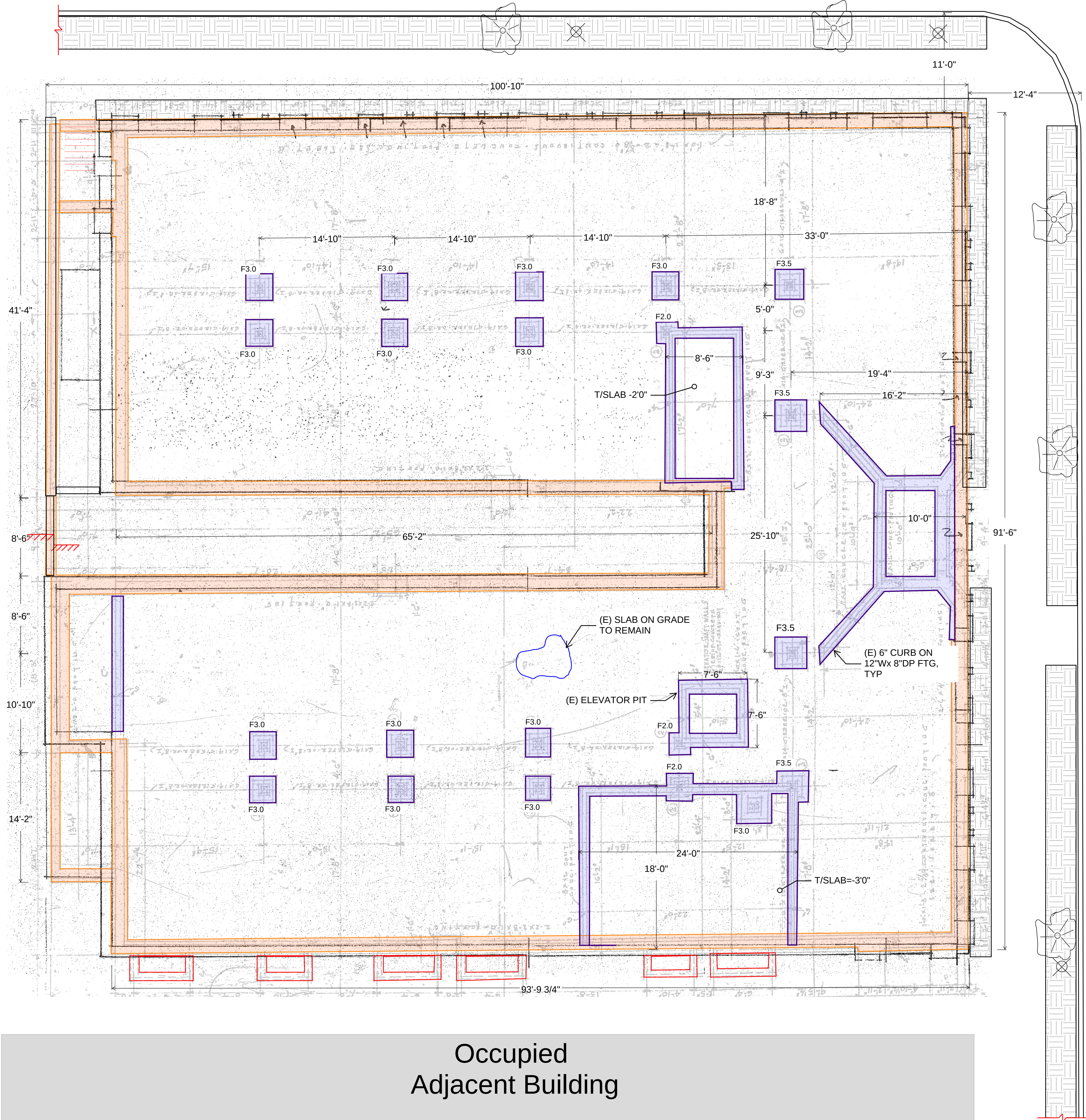
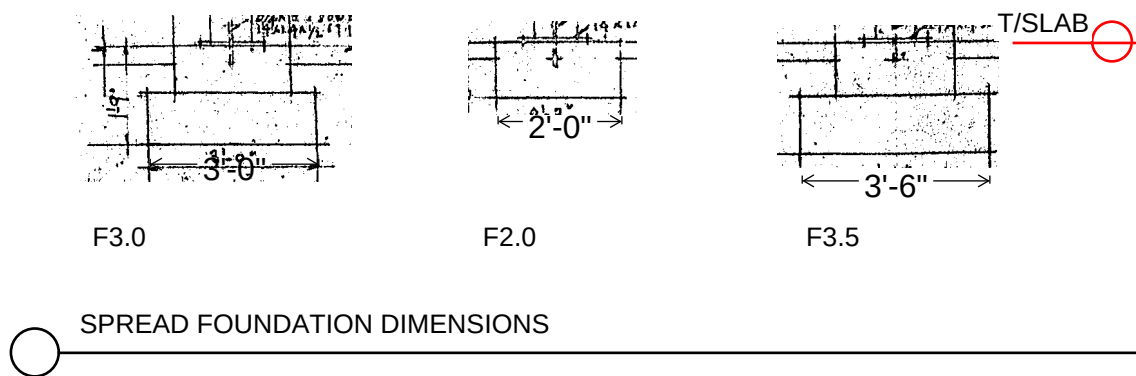
DS2.0



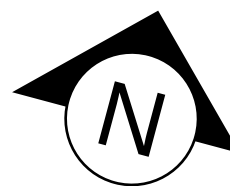
PLAN NOTES  
SEE LEGEND FOR FINAL CONDITION OF CONCRETE ELEMENTS THAT SHALL REMAIN IN PLACE  
DIMENSIONS SHOWN ON PLAN ARE APPROXIMATE.  
TOP OF SLAB ELEVATION=0'-0". EXISTING DRAWINGS SET THIS ELEVATION AT 130.68'

SUBMITTED  
01/18/2024

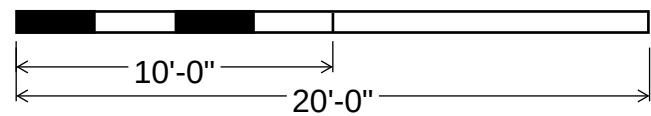
- RETAINING WALLS. CUT 12" BELOW GRADE.
- FOUNDATION TO REMAIN IN PLACE
- STEEL ELEMENTS TO BE REMOVED
- WINDOW WELLS TO BE REMOVED



Occupied  
Adjacent Building



REMAINING ELEMENTS PLAN



SUBMITTED: JAN. 6, 2023

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Civil / Structural

DRAWING TITLE:  
DEMOLITION  
SEQUENCING



Parkway Manor Demolition  
1609 SW PARK AVE  
PORTLAND OR 97201

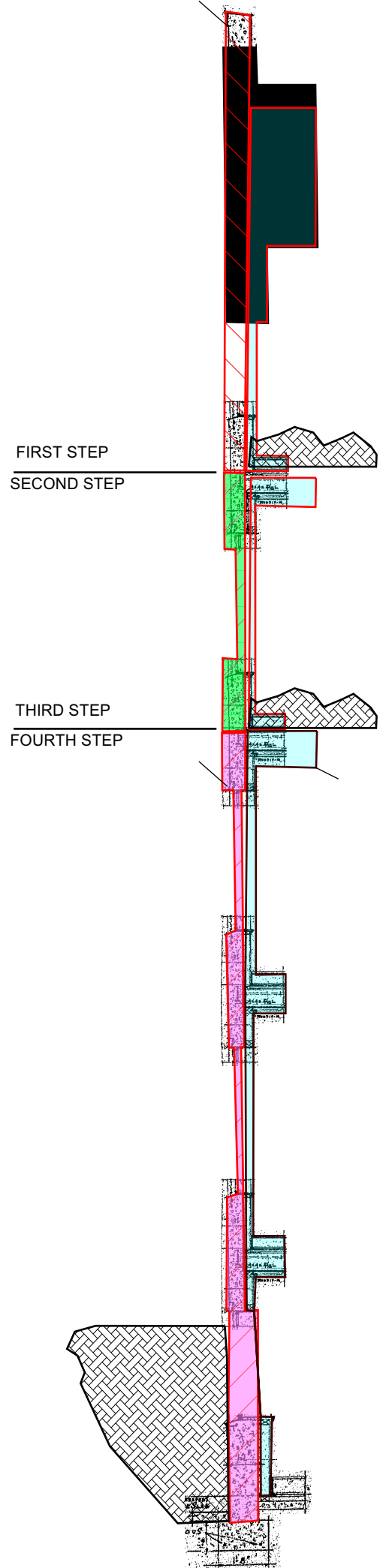
REVISIONS  
01.06.2024 PLAN  
CHECK

City of Portland  
Reviewed for  
Code Compliance

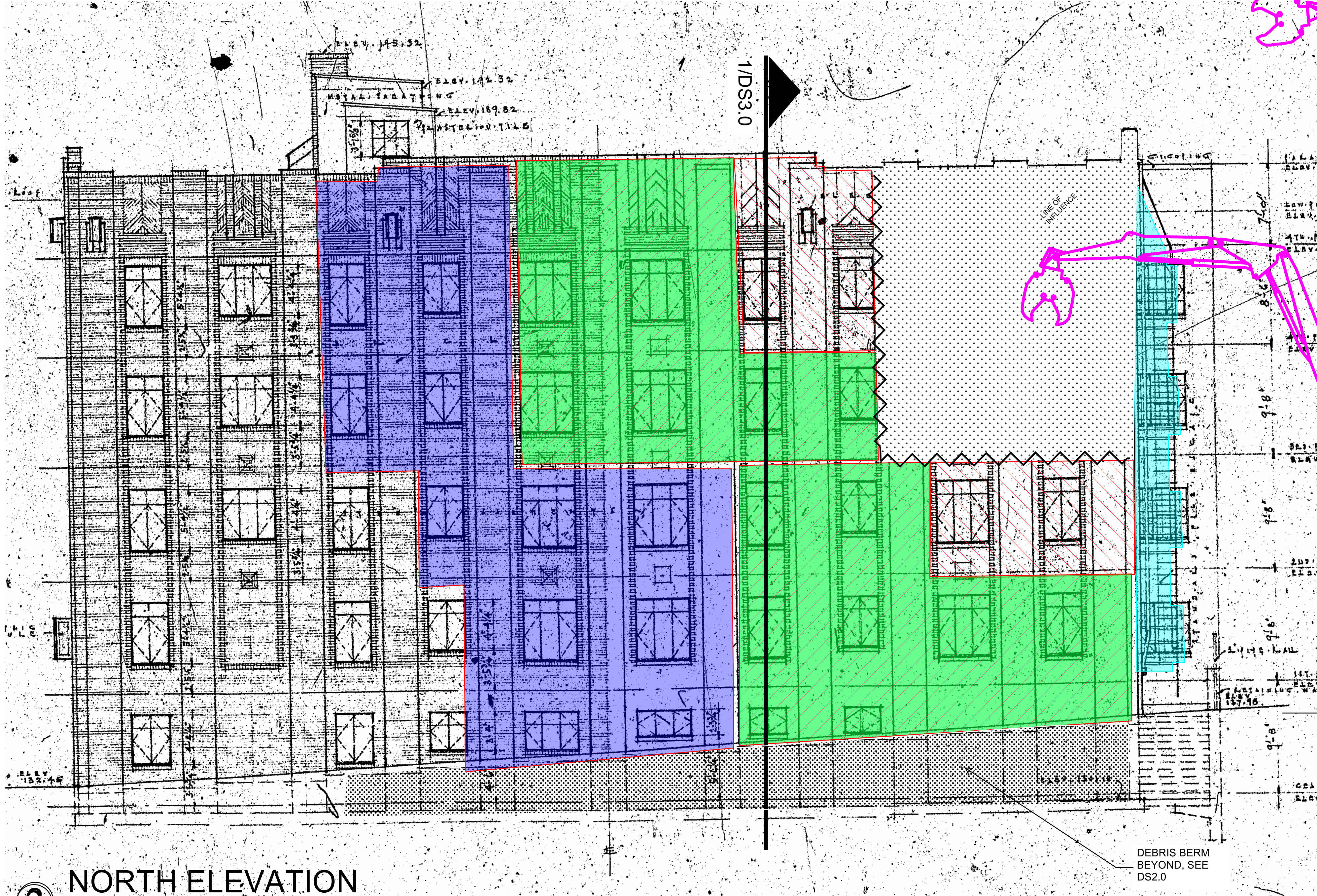
DS2.1  
Date: 01/18/24  
Permit #: 23-061540-REV-01



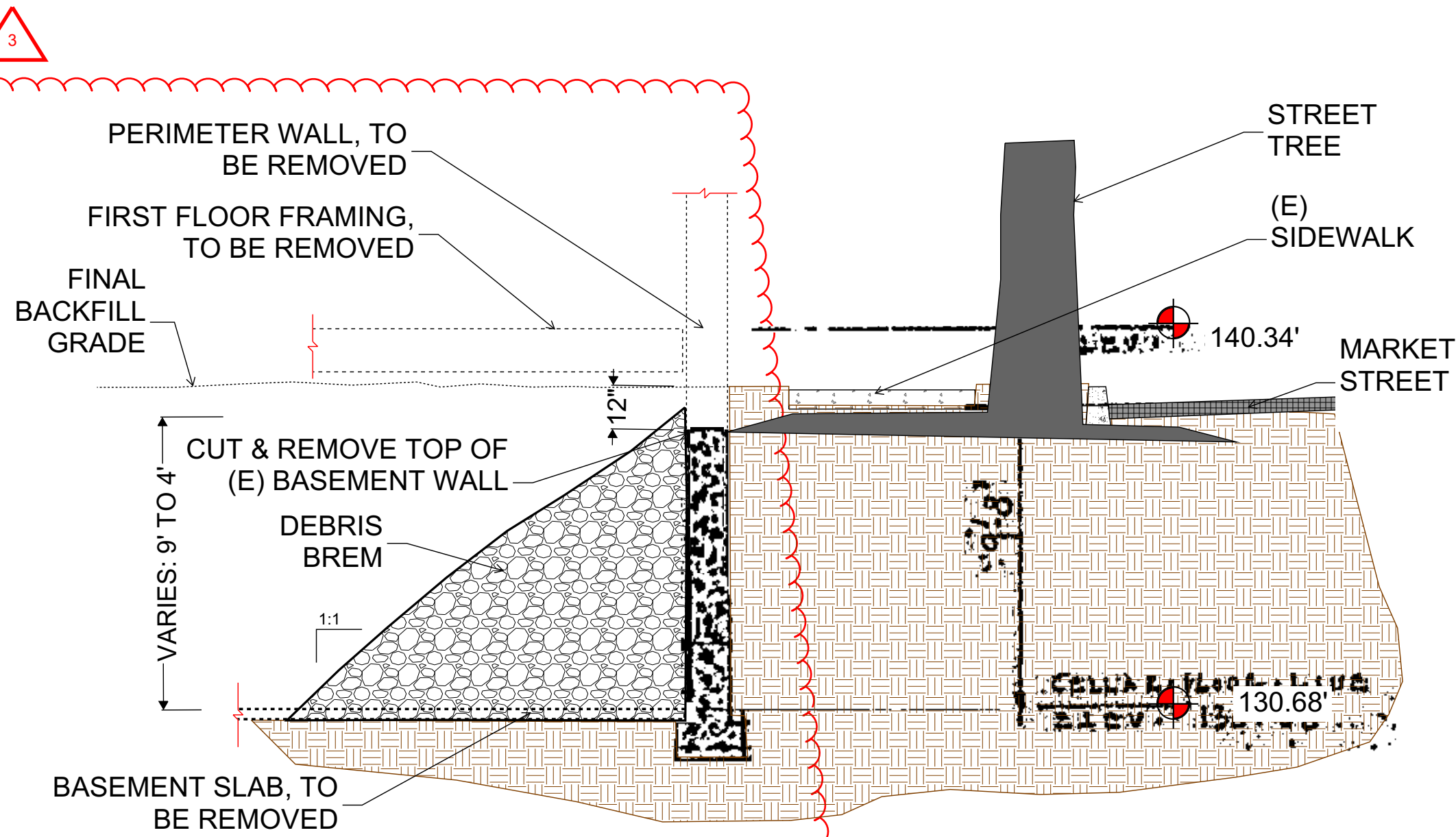
| REVISIONS |                |
|-----------|----------------|
| 1         | 7/25/27 PC     |
| 2         | 8/9/23 PC      |
| 3         | 12/5/23 APPEAL |



1 WALL SECTION



2 NORTH ELEVATION



5 DEMOLITION AT NORTH WALL

4 EXCAVATION AT RETAINING WALL